

Pre-Purchase Inspection - Residential Building Report

Complies with Australian Standard AS 4349.1- 2007 Inspection of Buildings Part 1: Pre-Purchase inspections - Residential buildings



Structural

PURPOSE OF INSPECTION

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to AS4349.1-2007 and the Building Inspection Agreement.

The overall condition of this building has been compared to similarly constructed & reasonably maintained buildings of approximately the same age.

If it is more than 60 days from the inspection date, we recommend a new inspection and report. If the property is being auctioned refer to the Disclaimer of Liability to Third Parties in this report.

Property Inspected

Property Inspected Details:

14 Marshall Avenue
Pinjarra WA 6208

Contact Details

Inspection Requested By:	Martins Turnbull-Svinne 14 Marshall Avenue Pinjarra WA 6208
Inspection Requested For:	Same as Inspection Requested By
Cost Billed To:	Same as Inspection Requested By
Contact For Access:	Same as Inspection Requested By

Inspection Details

Inspection Date/Time:	29/01/2024 2:00 PM
Persons in attendance:	None
Other relevant comments:	Built approximately 1972
Weather conditions at time of inspection:	Sunny

Agreement Details

Agreement Number:	31379
Date of Agreement:	29/01/2024 7:00 AM
Specific requirements and or conditions required:	Scope of inspection as per Structural Building Inspection Agreement (excludes roof exterior elements). Note: The operation of Electrical, Plumbing and Gas Fixtures and fittings should be checked at the pre-settlement inspection. Any issues should be raised in accordance with your offer and acceptance.

Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you prior to acting on this report.

Inspector Details

Name Of Inspection Firm:	Home Integrity Building Consultants
Contact Phone:	0421 077 138
Inspector Name:	Daniel Mitchell Registered Builder # 101044
Report Prepared Date:	29/01/2024

Summary of Defects

Major Structural Defects identified to the Residential Building on day of inspection

Defect #	Details
3	Location: Roof Void above Kitchen Description: Strutting appears to be inadequate
4	Location: West Side Description: Deflection and distortion noted to Verandah beam and wood rot damage
5	Location: West Side Description: Patio connection to main residence is inadequate and failing

Major Structural Defects identified beyond the Residential Building

Structural elements beyond the main residential building were not included as part of this inspection.

Incidence of Major Defects

High

Incidence of Minor Defects

Typical

Overall Condition (refer to definitions)

Below Average

STRUCTURES INSPECTED

For the purpose of reporting on the property the property will be defined by compass readings e.g. North face.

1.1 Residence

Structure type:	Freestanding house
Orientation:	West
Areas Inspected:	Bathroom 1, Bedroom 1, Bedroom 2, Bedroom 3, Bedroom 4, Entry, Family Room, Hallway, Kitchen, Laundry, Lounge Room, Meals, Roof Void, Toilet 1, Verandah, Walls Exterior
Is the building furnished?:	No
Construction type:	Cavity brick
Pier type:	Not applicable
Flooring type:	Concrete Slab
Verandah:	Location: West
Patio:	Location: East, West
Roof Structure/s:	Pitched timber
Roof covering/s:	Concrete tile
Pool present:	No
Are Smoke Detectors Installed:	Yes Number of smoke detectors: 1 Location of smoke detectors: Hallway Recommendation: All smoke detectors should be tested for serviceability and compliance.
Are Residual Current Devices (RCDs) Installed:	Yes Number of RCDs: 3 Location of RCDs: Meter box Recommendation: All RCDs should be tested for serviceability and compliance.

General Comments:

The following may include reference to areas/elements that are specifically excluded from this inspection Agreement and is for your further information only:

1. Cracked and damaged brick fencing noted to the Patio area. Recommend further inspection and maintenance/repairs as required.
2. Surface rust noted to the metal Carport structure. Recommend further inspection and maintenance/repairs as required.
3. Recent paint finishes noted to various surfaces throughout the home.

4. Deterioration and damage noted to the rear Patio structure. Recommend further inspection and maintenance/repairs as required.

5. Deterioration and rust damage noted to the rear garden shed. Recommend further inspection and maintenance/repairs as required.

AREAS WITHOUT ISSUE ON THE DAY OF INSPECTION

In relation to the Inspection Agreement, the overall condition of the following areas are consistent with buildings of approximately the same age and construction.

Bedroom 1
Bedroom 2
Bedroom 3
Bedroom 4
Entry
Family Room
Hallway
Kitchen
Laundry
Meals
Toilet 1

Access Issue 1. - Roof Void

Access Issue Type:

Restricted Access

The inspector has made a reasonable visual assessment of that area within the limitations identified.

Reason(s) Why:

Insulation, Pitch, Roof Frame , Limited access for visual inspection was available to the roof void over the Meals and Family Room areas at the West elevation due to a low pitch roof construction obstructing physical access.

Defect 1. - Interior

Defect Location:

Bathroom 1, Lounge Room

Defect Summary:

Shower

Type of Defect:

Water penetration, dampness, Material deterioration

Description:

Shower is leaking

Ongoing Consequence:

Leaking showers may be a health hazard and cause serious damage to surrounding elements

Opinion of Cracking:

Not Applicable

Building Professional:

Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.

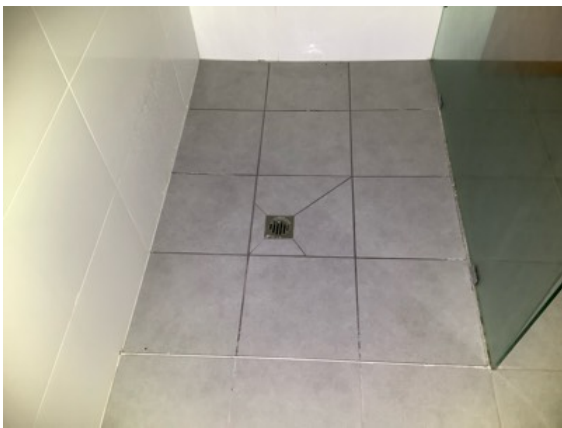
Building Professional Required: Tiler



49% moisture detected to the Lounge Room wall.



Moisture detected to the Lounge wall is located directly adjacent to the Bathroom shower recess.



Bathroom shower recess.



Deterioration/worn grout and sealant joints noted to the Bathroom shower recess floor and wall tiles. Recommend tiler review for repairs and re-seal to waterproof membrane.

Defect 2. - Roof Void

Defect Location:	Various Areas
Defect Summary:	Electrical hazard
Type of Defect:	Installation
Description:	Exposed wiring connections
Ongoing Consequence:	Electrical safety hazard
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Electrician



Exposed wiring junctions observed in the roof void above the Kitchen area. Recommend having an Electrician install junction box's at all connections to make safe.



Exposed wiring junctions observed in the roof void above the Entry area. Recommend having an Electrician install junction box's at all connections to make safe.

Defect 3. - Roof Void

Defect Location:	Roof Void above Kitchen
Defect Summary:	Roof Framing
Type of Defect:	Damage, Distortion, warping, twisting, Structural
Description:	Strutting appears to be inadequate
Ongoing Consequence:	Sagging to roof frame and damage to roof exterior
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Carpenter



Significant twisting and failed fixings noted to the scissor strut above the Kitchen area. Repairs required.



Twisting scissor strut above Kitchen area.

Defect 4. - Exterior

Defect Location:	West Side
Defect Summary:	Verandah
Type of Defect:	Damage, Distortion, warping, twisting, Material deterioration, Structural
Description:	Deflection and distortion noted to Verandah beam and wood rot damage
Ongoing Consequence:	Further damage, limited operation and damage to surrounding elements
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Builder



Significant deflection, distortion and sagging noted to the Verandah beam due to inadequate support. Recommend repairs which may require replacing the beam and installation of additional supports.



Distortion and buckling noted to the steel fitch plates installed to both sides of the Verandah beam which are failing to support the timber beam as intended. Repairs required.



Significant wood rot damage noted to the exposed section of the timber Verandah beam. Recommend having Builder conduct an invasive inspection to the beam and roof frame to ensure there is no further concealed damage and repair as required.



Wood rot damage and significant sagging/deflection noted to the Verandah beam. There are 2x marks on the ground where previous piers or posts appear to have been removed. Recommend invasive inspection and repairs which may require a beam replacement and additional supports installed.

Defect 5. - Exterior

Defect Location:	West Side
Defect Summary:	Patio
Type of Defect:	Damage, Distortion, warping, twisting, Installation, Safety hazard, Structural
Description:	Patio connection to main residence is inadequate and failing
Ongoing Consequence:	Personal injury , Possible collapse and further damage to main residence
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Builder



Significant damage, distortion and sagging observed at the West elevation Patio to fascia connection. Repairs, modification and/or removal is required to prevent further damage. and to make safe.



The West elevation Patio structure is connected to the metal fascia of the main residence only which is not designed to take load and has caused sagging and damage to the fascia gutter and eaves. Repairs, modification and/or removal is required to prevent further damage. and to make safe.



West elevation Patio structure.



The West elevation Patio structure is connected to the metal fascia of the main residence only which is not designed to take load and has caused sagging and damage to the fascia gutter and eaves. Repairs, modification and/or removal is required to prevent further damage and to make safe.

Defect 6. - Exterior

Defect Location: South Side, East Side
Defect Summary: Walls - Brick
Type of Defect: Material deterioration
Description: There is stepped cracking, There is vertical cracking
Ongoing Consequence: Further deterioration
Opinion of Cracking: Appearance cracking
Building Professional: **Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.**

Building Professional Required: Bricklayer



Vertical appearance cracking observed to the South elevation brick wall below the Meals area window. Recommend repairs and to monitor over time.



East elevation - Stepped appearance cracking noted to the exterior brick wall below the Activity Room window. Recommend maintenance/repairs and to monitor over time.



East elevation - Stepped appearance cracking noted to the exterior brick wall below the Bedroom 2 window. Recommend maintenance/repairs and to monitor over time.



West elevation - Appearance cracking noted to the exterior brick wall below the Family Room window. Recommend maintenance/repairs and to monitor over time.

Observation 1

Area Location:

Interior Areas

Description:

The following interior rooms/areas have been inspected in accordance with the scope and limitations.

Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, and physical damage to materials and finishes.

The inspector is not required to comment on individual minor defects and imperfections. If noted, it is expected that defects of this type would be rectified as part of normal ongoing property maintenance.



Entry.



Family room.



Family - Typical appearance cracking noted to the cornice and wall junctions at some isolated areas throughout the home. Recommend maintenance/repairs.



Family - Appearance cracking noted to wall linings at some isolated areas throughout the home. Recommend maintenance/repairs.



Meals.



Kitchen.



Laundry.



Lounge room.



Lounge Room - Deterioration and minor sagging noted to some isolated areas throughout the home. As buildings age, so do the fixings and adhesives/lagging holding the ceiling lining in place. Recommend having a Ceiling Fixer review for possible maintenance/repairs as required.



Lounge room - Evidence of moisture ingress and staining noted to the ceiling lining. This could be historical. Recommend a roof cover inspection or having a roofing contractor check above this area for repairs that may be required.



Bed 1.



Bed 2.



Activity room.



Activity Room - Evidence of moisture ingress, staining and possible mould growth noted to the ceiling lining. This could be historical. Recommend having a mould specialist review and having a roof cover inspection or having a roofing contractor check above this area for repairs that may be required.



Toilet.



Bathroom.



Bed 3.

Observation 2

Area Location:

Roof Void

Description:

The following Roof Void area has been inspected where applicable in accordance with the scope and limitations.

The inspector is not required to comment on individual minor defects and imperfections. If noted, it is expected that defects of this type would be rectified as part of normal ongoing property maintenance.



Roof frame.



Ceiling frame.



Ceiling frame.



Roof frame.

Observation 3

Area Location:

Exterior of Residence

Description:

The Exterior of the residence has been inspected where applicable in accordance with the scope and limitations.

Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, and physical damage to materials and finishes.

The inspector is not required to comment on individual minor defects and imperfections. If noted, it is expected that defects of this type would be rectified as part of normal ongoing property maintenance.



West elevation.



West elevation - Evidence of moisture ingress to the exterior eaves lining in some areas. Eaves can be highly susceptible to moisture, often as a result of blocked and/or leaking gutters or down pipe connections. Recommend roof cover inspection, repairs and/or routine clearing of overflow provisions to gutters and down pipes as required.



West elevation.



South elevation.



East elevation.



North elevation.

Site Defect 1. - Fencing (general)

Type of Defect:	Damage, Safety hazard
Direction:	South
Description:	Damaged fencing likely to contain asbestos
Ongoing Consequence:	Further damage, health and safety hazard
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.

Building Professional Required: Fencer



Perimeter fencing is damaged in some areas and likely to contain asbestos material. Recommend repairs taking caution when repairing using appropriately qualified contractors and safety precautions.



Damaged fencing likely to contain asbestos.

CONCLUSIONS

CRACKING OF BUILDING ITEMS

Important information regarding cracking in masonry and concrete

Regardless of the type of crack(s) a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding:

1. (a)The nature of the foundation material on which the building is resting
2. The design of the footings

3. (c) The site landscape
4. (d) The history of the cracks and
5. (e) Carrying out an invasive inspection

All fall outside the scope of this Pre Purchase Inspection. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of the inspection may have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work been carried out.

If cracks have been identified in the table below, a Structural Engineering inspection is recommended.

Cracking of Masonry and/or Concrete

Type	Area	Description	Opinion of Cracking
Exterior	South Side, East Side	There is stepped cracking, There is vertical cracking	Appearance cracking

Definitions

Appearance Defect - Where in the inspector's opinion the appearance of the building item has deteriorated at the time of the inspection and the significance of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspector's opinion the performance of the building item is flawed at the time of the inspection and the expected significance of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural soundness of the building item has diminished at the time of the inspection and the expected significance of this cracking is unknown until further information is obtained.

Other Inspections and Reports Required

It is recommended that the following Inspections and/or repairs/work required is obtained from the following trades and/or professions.

Recommendations

Recommendations from the Report

- Tiler
- Electrician
- Carpenter
- Builder
- Bricklayer
- Engineer
- Fencer

Other Inspections Recommended

Mould, Roof Exterior , Ceiling Fixer

SIGNED BY INSPECTOR

Date:

29/01/2024

Signed:



CONTACT THE INSPECTOR

If you have any questions regarding the report, please feel free to contact the inspector. It can be challenging to communicate defects, their severity, and any inspection limitations in a manner the reader can comprehend. If you have any concerns or require any additional clarification you should contact the inspector immediately before acting on this report.

Type of Defects

The definitions below relate to the Type of Defect associated with the building element/item fixture or fitting.

Damage: The building element/item fixture or fitting is damaged, cracked or broken and is not fit for it's intended purpose.

Distortion, warping, twisting: The building element/item fixture or fitting has shifted from its intended position.

Water Penetration, Dampness: Water ingress and/or dampness is found in unexpected or undesirable area(s).

Material Deterioration: The building element/item fixture or fitting is deteriorating due to rusting, corrosion, rot or decay.

Operational: The building element/item fixture or fitting does not perform as expected.

Installation: The building element/item fixture or fitting has not been installed as expected, is ineffective, unsuitable and/or has absent components.

Structural Defect: Weakness or departure from the expected structural performance of a structural building element.

Acceptance Criteria

The building will be compared to a comparable building of roughly the same age that has been constructed with the commonly accepted method at the time the building was built, and which has been maintained as expected so there has been no significant loss of strength and/or serviceability.

High: The occurrence and/or extent of defects exceeds the inspector's expectations when compared to a comparable building of roughly the same age that has been maintained as expected.

Typical: The occurrence and/or extent of defects is as the inspector anticipated when compared to a comparable building of roughly the same age that has been maintained as expected.

Low: The occurrence and/or extent of defects is lower than the inspector's expectations when compared to a comparable building of roughly the same age that has been maintained as expected.

Average: The overall condition of the building is consistent with buildings of roughly the same age. There will be some building elements that require some repair and/or maintenance.

Above Average: The overall condition of the building is above average when compared to a building roughly the same age. The building has been well maintained.

Below Average: The overall condition of the building is poor when compared with buildings of roughly the same age. There are significant defects to building elements requiring renewal, repair and/or maintenance.

Definitions

Accessible Area: is any area of the site and structures permitting safe and Reasonable Access to perform the inspection.

Building Inspection Agreement: Shall be the agreement between the client and the inspector entered into prior to the inspection taking place. This agreement includes, but is not limited to, defined purpose, specific scope/areas of inspection, acceptance criteria and limitations. Should this report be transferred, the subsequent buyer of the property shall be bound by all terms and conditions of the Building Inspection Agreement, as detailed under Clause 11 of this Report. Providing the Buyer agrees to the terms of the Building Inspection Agreement, then they may rely on the report subject to the terms and conditions of the Agreement and the Report itself.

Structural Element: Physically noticeable part of a structure. E.g., Walls, including interior, exterior, and screen, Floors, Roof and Ceiling frames, Beams and Connections.

Building Element: Section or part of a building which, by itself and/or in conjunction with other sections or parts, achieves a characteristic function. E.g., supporting, enclosing, completing or servicing a building space.

Major Defect: A defect of significant extent where remedial works must be carried out in order to prevent an unsafe environment, loss of utility or further deterioration of the property and/or building.

Minor Defect: Any other defect that is not a Major Defect. **Note:** the inspector is not required to comment on individual minor defects and imperfections.

Safety Hazard: Current or pending serious safety hazard.

Residential Building: is a building or structure within the boundaries, under the main roof (including post initial construction). Includes Verandas constructed at the same time as the main dwelling. Alfresco under main roof. Attached and/or standalone structures containing habitable rooms. Retaining walls directly associated with the foundations of the Residential Building.

Terms, Conditions and Limitations

1. The report is not an "all-inclusive" report that considers the property from every aspect and is subject to the agreed scope of the inspection.
2. Unless noted otherwise, inspector conducted a visual, non-invasive inspection of the building elements only to the safe and accessible areas as outlined in the scope of the agreement.
3. The inspection is a reasonable attempt to identify major defects and safety hazards at the time of inspection.
4. The report is not a Certificate of Compliance with any Building Permit, Building License, Act, Regulation, Ordinance, By-law Standard or Code.
5. The report is not a warranty against problems arising in the future. Defects reported can further deteriorate or become a safety hazard if not attended to by a qualified professional.
6. Inspection on Strata, Company and Community title type buildings are limited to the interior and immediate exterior of the unit. It is recommended that the client review all available records of the Body Corporate including Maintenance Plans.
7. This is not a Structural Engineers Report. Where defects of a structural nature are identified, a Structural Engineers report maybe required.
8. Any Estimates Provided in the report are merely an educated guess by the inspector using their knowledge and experience to estimate the possible likely costs to be incurred. The estimate is not a guarantee or quotation for work to be carried out. It is recommended that independent quotes are obtained from trade professionals. The inspector accepts no responsibility or liability for any estimates provided.

9. The minimum space required for inspection is as follows:

- a. beneath a floor - vertical clearance not less 600mm x 600mm with access size must not be less than 400mm x 500mm.
- b. exterior walls or roof and ceilings will only be inspected if it can be reached safely having regards to work and safety by use of a safe ladder which can be extended to a maximum of 3.6 metres from ground level;
- c. roof void minimum access size must not be less than 400mm x 500mm with vertical space 600mm X 600mm for reasonable movement;

10. Not Included in the Scope of the Inspection:

- a. Common areas of Strata, Company and Community title type properties.
- b. Timber Pest Activity.
- c. Presence or absence of mould.
- d. Identification of ACM (Asbestos Containing Material).
- e. Identification of flooring containing Magnesite.
- f. Inaccessible or partly inaccessible areas.
- g. Areas where access was denied.
- h. Defects that may have been concealed.
 - i. Rising damp and water ingress (leaks) that maybe subject to prevailing weather conditions.
 - j. Water ingress (leaks) that are subject to services not being used for a period of time. i.e. shower recesses.
- k. Technical assessment of electrical, gas, plumbing and mechanical installations.
 - l. Site drainage.
- m. Swimming and Spa Pools.
 - n. Identification illegal building works.
 - o. Breaking apart and/or dismantling.
 - p. Removing or moving objects and materials included but not limited to vegetation, roof insulation, floor or wall coverings. Ceilings. Floors. Furniture. Appliances.
 - q. Removing or moving stored goods and/or personal possessions.
 - r. Impact to the buildings footings when trees are in close proximity.
 - s. Septic tanks.

11. Disclaimer of Liability: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this Report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Seller for the purpose of auctioning, set date sale or private treaty of a property, then the Inspection Report may be ordered up to thirty (30) days prior to the auction, set date sale or listing, copies may be given out prior to the auction/sale and the Report will have a life of sixty (60) days from the date of Inspection during which time it may be transferred to the Buyer. Providing the Buyer agrees to the terms of the Building Inspection Agreement, then they may rely on the report, subject to the terms and conditions of the Building Inspection Agreement and the Report itself.

12. Complaints Procedure: If there are any claim and/or dispute arises with regards to the inspection and/or report you should inform us immediately by email. You must permit us full access to all areas of the property that relate to the claim and/or dispute. Within 28 days of receipt of your claim we respond to you in writing. In the event you are not satisfied with our response you must refer the matter to a Mediator nominated by us from the Australian Mediations Association Limited must within (21 days) from the date of our response. The parties shall bear equally the costs of the mediation. If you initiate court proceedings without observing the above Complaints Procedure and the proceedings are set aside, stayed or adjourned then you agree to be responsible for any costs and expenses incurred by us and you agree to keep us indemnified of such costs and expenses incurred by us.