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**13 Murace Place, Middle Swan, Western Australia**

**Pre-Purchase Structural  
Property & Timber Pest Report**

## PRE-PURCHASE STRUCTURAL PROPERTY & TIMBER PEST REPORT

|                  |   |
|------------------|---|
| Report number:   | 8561491   |
| Inspection Date: | 24th Oct, 2023                                  |
| Property Address | 13 Murace Place, Middle Swan, Western Australia |

### Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant and Timber Pest Detection Consultant is a Structural Building Condition & Timber Pest Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

"Timber Pest Detection Consultant" means person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

This Structural Building Condition & Timber Pest report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

### Terms on which this report was prepared

#### Property report

**PURPOSE OF INSPECTION** The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

**SCOPE OF INSPECTION** This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

**If the Client requires a structural integrity report that is not subject to the limitations of Structural Building Conditions Inspections, the Client should engage a Structural Engineer**

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.

- (d) Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

(a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

(b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

## LIMITATIONS

The Client acknowledges:

1. A visual only inspection may be of limited use to the Client, particularly where the cause/source of a defect cannot be determined by visible inspection only. In addition to a visual inspection and in order to thoroughly inspect the Readily Accessible Areas of the property the consultant may carry out necessary non invasive tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. The Report is not a structural integrity report. **Where a structural building condition inspection is conducted then the Inspection and Report forms an assessment of the observable structural condition of the property at the time of the inspection only, and is not, and should not, be considered an assessment of structural integrity.**
6. Structural condition reports will be undertaken in accordance with Appendix A Pre-Purchase Structural Inspection Reports, where the inspection is also limited to the assessment of structural elements to the interior and exterior of the building of the particular residence to be inspected. Further, with respect to structural condition inspections and reports, non-structural elements; any aspect or component of the property that cannot be seen or that requires testing and/or measurement to determine soundness; any area or item that was not, or could not be, observed by the inspector; general maintenance other than that which is deemed to be directly related to the ongoing structural performance of the property; and serviceability damp defects such as condensation, rising damp, lateral damp and falling damp, will only be assessed and reported on where structural damage has occurred, is occurring, or may occur.
7. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
8. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

## EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

## TIMBER PEST REPORT

**PURPOSE** The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

**SCOPE OF INSPECTION** This Report only deals with the detection or non detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site (see Note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Timber Pest Attack" means Timber Pest Activity and/or Timber Pest Damage.

"Timber Pest Activity" means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

"Timber Pest Damage" means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

"*Major Safety Hazard*" Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Conditions Conducive to Timber Pest Attack" means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

"Timber Pests" means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Chemical Delignification - the breakdown of timber through chemical action.
- (b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (c) Wood Borers - wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.
- (d) Termites - wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

"Tests" means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

"Instrument Testing" means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- (b) stethoscope - an instrument used to hear sounds made by termites within building elements;
- (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) sounding - a technique where timber is tapped with a solid object.

"Subterranean Termite Management Proposal" A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

ACCEPTANCE CRITERIA Unless noted in "Special Conditions or Instructions", the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

Unless noted in "Special Conditions or Instructions", this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

## LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g. subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party.

## EXCLUSIONS

The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

## Special conditions or instructions

|                                    |  |
|------------------------------------|--|
| Special conditions or instructions | There are no special conditions or instructions. |
|------------------------------------|--|

## The parties

|   |                |
|---|----------------|
| Pre-engagement inspection agreement number: | 8561491        |
| Name of Client:                             | Roi Meran      |
| Name of Principal:                          |                |
| Address of Client:                          |                |
| Client's email:                             | roi7@gmail.com |
| Client's telephone number:                  | 0433 624 793   |

## SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

### PROPERTY REPORT - SUMMARY

In respect of significant items:

|   |   |
|---|---|
| Evidence of Serious Safety Hazards  | Was observed - see Section D, Item D1       |
| Evidence of Major Defects   | Was observed - see Section D, Item D2 - D21 |
| Evidence of Minor Defects   | Was outside the scope of the inspection     |
| Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered: | Moderate-High. See Section C for details    |

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

|   |   |
|---|---|
| For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes". | Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration., Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration |
|---|---|

### TIMBER PEST REPORT - SUMMARY

In respect of significant items:

|   |               |
|---|---------------|
| Evidence of active (live) termites                              | Was not found |
| Evidence of termite activity (including workings) and/or damage | Was not found |

|  |  |
|--|--|
| Evidence of a possible previous termite management program   | Was found - see item E4                  |
| The next inspection to help detect any future termite attack is recommended in   | 1 month                                  |
| Evidence of chemical delignification damage  | Was not found                            |
| Evidence of fungal decay activity and/or damage  | Was not found                            |
| Evidence of wood borer activity and/or damage  | Was not found                            |
| Evidence of conditions conducive to timber pest attack   | Was found - see items E9 - E13           |
| Evidence of major safety hazards   | Was not found                            |
| Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered | Moderate-High. See Section C for details |

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

|   |  |
|---|--|
| For further information including advice on how to help protect against financial loss due to timber pest attack see Section G "Important Notes". | Recommend exposing a minimum of 75mm under weep holes, Recommend installing a chemical barrier immediately |
|---|--|

## SECTION B GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

### GENERAL DESCRIPTION OF THE PROPERTY

|  |                          |
|--|--------------------------|
| Residential building type:                       | Detached house           |
| Number of storeys:                               | Single storey            |
| Approximate building age:                        | 20 years                 |
| Approximate year when the property was extended: | Not applicable           |
| Smoke detectors:                                 | 2 fitted, but not tested |



|   |   |
|---|---|
| Siting of the building:                                     | Towards the middle of a medium block  |
| Gradient:   | The land is relatively flat.  |
| Site drainage:  | The site appears to be adequately drained.  |
| Access:   | Reasonable pedestrian and vehicular access, Off-street parking  |
| Main utility services:                                      | The following services were connected:, Electricity, Gas, Water, Sewer  |
| Occupancy status:   | Occupied and fully furnished  |
| Orientation (to establish the way the property was viewed): | The facade of the building faces east<br>Note. For the purpose of this report the façade of the building contains the main entrance door. |
| Prevailing weather conditions at the time of inspection:    | Dry   |

### PRIMARY METHOD OF CONSTRUCTION

|   |   |
|---|---|
| Main building - floor construction:           | Slab on ground  |
| Main building - wall construction:            | Cavity brick  |
| Main building - roof construction:            | Concrete tile, Timber frame   |
| Other timber building elements:               | Doors, Architraves, Fascias/Barges, Cabinets, External Timber Structures (Decking, Veranda, Pergolas, Balconies, Stairs or Retaining Walls) |
| Additional Details:                           |   |
| Overall standard of construction:             | Reasonable  |
| Overall quality of workmanship and materials: | Reasonable  |
| Level of maintenance:                         | Reasonably maintained   |

### INCOMPLETE CONSTRUCTION

|  |                   |
|--|-------------------|
| Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)? | No evidence found |
|--|-------------------|

Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

### ACCOMMODATION & SIGNIFICANT ANCILLARIES

|                             |             |
|-----------------------------|-------------|
| Room Type: Living rooms     | Quantity: 1 |
| Room Type: Bedrooms         | Quantity: 4 |
| Room Type: Bathroom/Ensuite | Quantity: 2 |

|                            |             |
|----------------------------|-------------|
| Room Type: Separate toilet | Quantity: 1 |
| Room Type: Kitchen         | Quantity: 1 |
| Room Type: Laundry         | Quantity: 1 |

## PARKING

|                            |             |
|----------------------------|-------------|
| Type: Off street Uncovered | Quantity: 1 |
| Type: Attached Carport     | Quantity: 1 |
| Type: Unattached Garage    | Quantity: 2 |

## SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, and are accessible by safe use of a ladder up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry.

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term "Building & Site" is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

## AREAS INSPECTED

|   |  |
|---|--|
| The inspection covered the Readily Accessible Areas of the property | Building Interior, Building Exterior, Roof Exterior, Roof Space, The site including fences |
| Additional comments:  | Roof cover inspected from the ground and a ladder  |

## STRATA OR COMPANY TITLE PROPERTIES

|   |                |
|---|----------------|
| Was the inspection of a strata or company title property (eg a home unit or townhouse)? | No             |
| Was the inspection limited to assessing the interior or exterior of a particular unit?  | Not applicable |

|                      |  |
|----------------------|--|
| Additional comments: |  |
|----------------------|--|

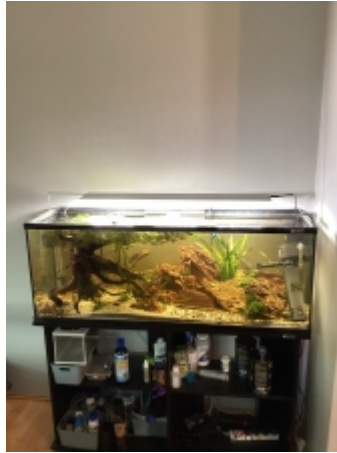
**OBSTRUCTIONS**

|  |   |
|--|---|
| Were there any obstructions that may conceal possible defects? | The following obstructions may conceal defects: |
|--|---|

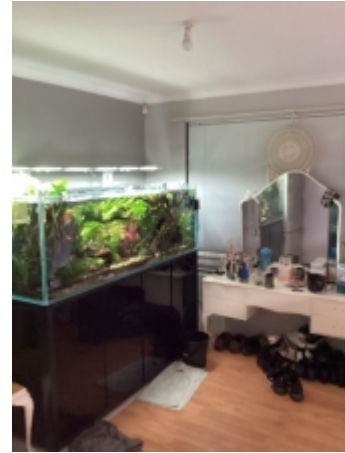
**Obstruction Photos**



Showing example of wall, floor and ceiling coverings, Showing example of furniture and stored goods throughout the property



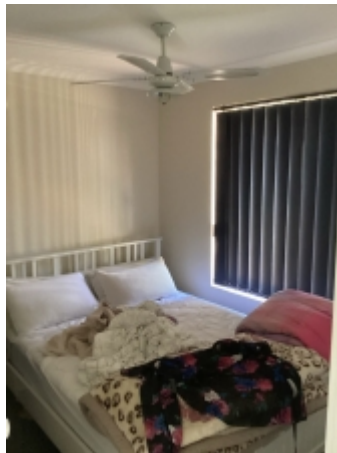
Showing example of wall, floor and ceiling coverings, Showing example of furniture and stored goods throughout the property



Showing example of wall, floor and ceiling coverings, Showing example of furniture and stored goods throughout the property



Showing example of window furnishings



Showing example of window furnishings



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of insulation and AC duct to the ceiling space, Showing example of framing and low clearance in the roof space



Showing example of insulation and AC duct to the ceiling space, Showing example of framing and low clearance in the roof space



Showing example of landscaping and gardens



Showing example of landscaping and gardens



Showing example of landscaping and gardens



Showing example of external fixtures



Showing example of external fixtures



Showing example of external fixtures



Showing example of external fixtures

### INACCESSIBLE AREAS

|   |   |
|---|---|
| Were there any normally accessible areas that did not permit entry? | All normally accessible areas permitted entry |
|---|---|

### UNDETECTED DEFECT RISK ASSESSMENT

|   |               |
|---|---------------|
| Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered: | Moderate-High |
|---|---------------|

**A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.**

|                      |  |
|----------------------|--|
| Additional comments: | Recommend further inspection once vacant and obstructions removed,<br>Recommend further inspection when access is gained to all areas. |
|----------------------|--|

**SECTION D PROPERTY REPORT**

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

**SERIOUS SAFETY HAZARDS**

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

|  |                                  |
|--|----------------------------------|
| D1 Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard: | The following evidence was found |
|--|----------------------------------|

|                      |   |
|----------------------|---|
| Additional Comments: | Undulating/uneven path, rectify to reduce the risk of tripping and personal injury. Smoke alarm placement recommend repair to prevent possible personal injury. |
|----------------------|---|

**Safety Hazard Details**



Showing examples of the smoke alarms



Showing examples of the smoke alarms



Showing examples of the smoke alarms



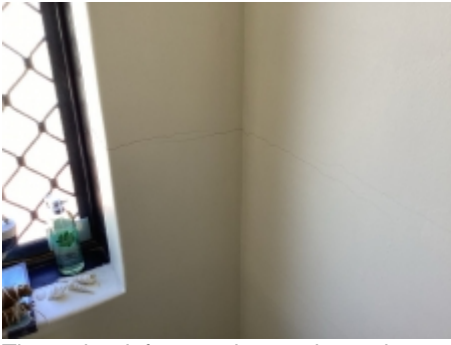
Showing undulating/uneven path

**INSIDE CONDITION - MAJOR DEFECTS**

|             |  |
|-------------|--|
| D2 Ceilings | No evidence of Major Structural Defect and/or Safety Defect was found. |
|-------------|--|

|                   |  |
|-------------------|--|
| D3 Internal Walls | The following evidence of Major Structural Defects and/or Safety Defects was found |
|-------------------|--|

**Internal Wall Defects**



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

|  |  |
|--|--|
| D4 Floors  | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D5 Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)         | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D6 Built-in fittings (built in kitchen and other fittings, not including the appliances) | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D7 Bathroom fittings   | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D8 Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)       | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D9 Roof space  | The following evidence of Major Structural Defects and/or Safety Defects was found |

## Roof space Defects



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Under purlin has cracked recommend engaging a builder to investigate further and repair as required



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Under purlin has cracked recommend engaging a builder to investigate further and repair as required



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Under purlin has cracked recommend engaging a builder to investigate further and repair as required



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Under purlin observed to be moving recommend builder to repair



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Under purlin observed to be moving recommend builder to repair



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Under purlin observed to be moving recommend builder to repair



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Collar tie not installed correctly recommend builder to investigate further and repair as required



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Collar tie not installed correctly recommend builder to investigate further and repair as required

|                    |  |
|--------------------|--|
| D10 Subfloor space | Not inspected due to construction design |
|--------------------|--|

**OUTSIDE CONDITION - MAJOR DEFECTS**

|  |  |
|--|--|
| D11 External walls                         | No evidence of Major Structural Defect and/or Safety Defect was found. |
| D12 Windows                                | No evidence of Major Structural Defect and/or Safety Defect was found. |
| D13 External doors (including patio doors) | No evidence of Major Structural Defect and/or Safety Defect was found. |

|   |  |
|---|--|
| D14 Platforms (including verandahs, patios, decks and the like) | The following evidence of Major Structural Defects and/or Safety Defects was found |
|---|--|

### Platform Defects



The major defect as observed constitutes a structural defect to the requirements of AS 4349.1-2007, Insufficient fixings and fasteners to the patio, recommend engaging a builder to investigate further and repair as required

|  |  |
|--|--|
| D15 Other external primary elements                                  | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D16 Other external secondary & finishing elements                    | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D17 Roof exterior (including roof covering, penetrations, flashings) | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D18 Rainwater goods  | No evidence of Major Structural Defect and/or Safety Defect was found.             |
| D19 The grounds  | The following evidence of Major Structural Defects and/or Safety Defects was found |

### Grounds Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report., Unevenness and settling to parts of the pavers. Needs repair/replacing to prevent further deterioration.

|                    |  |
|--------------------|--|
| D20 Walls & fences | No evidence of Major Structural Defect and/or Safety Defect was found. |
| D21 Outbuildings   | No evidence of Major Structural Defect and/or Safety Defect was found. |

### MINOR DEFECTS

|  |   |
|--|---|
| D22 Minor defects: Monitoring and normal maintenance must be carried out (see also Section F 'Important note'). How many minor defects were noted? | Not Applicable as outside the scope of inspection |
|--|---|



|                           |                |
|---------------------------|----------------|
| Comments on Minor Defects | Not Applicable |
|---------------------------|----------------|

## SECTION E TIMBER PEST REPORT

Where relevant the inspector may comment on an existing termite management program and whether it is current or expired. The inspector may also comment on the absence of any evidence of an existing termite management program. The inspector's observations of current termite management programs or otherwise does not guarantee the effectiveness of a property's existing termite treatment program.

The following items were reported on in accordance with the Scope of Inspection

### TIMBER PEST ATTACK

|   |  |
|---|--|
| E1 Active (live) termites                   | No evidence was found  |
| E2 Subterranean termite management proposal | A Proposal is recommended  |
| Additional Comments                         | Recommend installing a chemical termite barrier immediately to reduce the risk of termite entry into the building, No current Termite Management System identified |
| E3 Termite workings and/or damage           | No evidence was found  |
| E4 Previous termite management program      | The following evidence was found:  |
| Evidence of previous program:               | Treatment sticker in meter box   |

### Previous Treatment Photos



Showing examples of the sticker in the meter box

|  |   |
|--|---|
| E5 Frequency of future inspections: The next inspection to help detect termite attack is recommended in: | Monthly until a chemical termite barrier has been installed |
| E6 Chemical delignification  | No evidence was found                                       |
| E7 Fungal decay  | No evidence was found                                       |
| E8 Wood borers   | No evidence was found                                       |

### CONDITIONS CONDUCIVE TO TIMBER PEST ATTACK

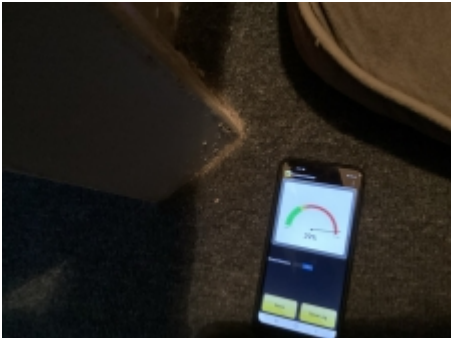
The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

|  |   |
|--|---|
| E9 Lack of adequate subfloor ventilation | Not applicable due to construction design |
|--|---|

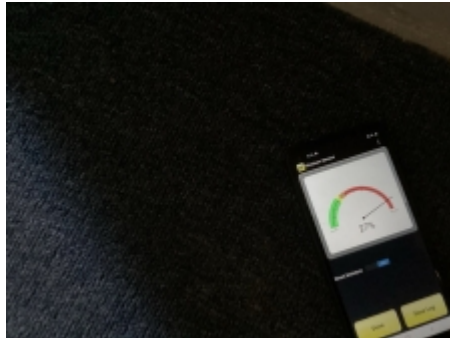
This report cannot and does not make comment on defects that may have been concealed; the assessment of detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (e.g. in the case that shower recess tests may be made on shower recess to detect leaks (if water is connected). The test may not reveal leaks or show incorrect water proofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary water proofing measure and may last for some months before breaking down. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of the inspection. Consequently, no evidence of a current leak during an inspection does not necessarily mean that there is not a leak.

|  |   |
|--|---|
| E10 The presence of excessive moisture | The following evidence was found  |
| Location                               | Various areas   |
| Additional Comments                    | Walls around the shower - recommend engaging a builder for further inspection to determine if the shower needs re-building/waterproofing or is easily repaired. AC unit overflow, recommend diverting away from the building or to a suitable drain. Hot water system overflow, recommend diverting away from the building or to a suitable drain. Recommend diverting the downpipes away from the building or connecting them to the stormwater. The external taps require a drain underneath them - recommend a plumber to rectify. Downpipes require repair - recommend a plumber to rectify. Gutters require repair - recommend a plumber to rectify., Moisture stains observed, recommend builder investigate further and repair as required, Moisture stain in the roof space |

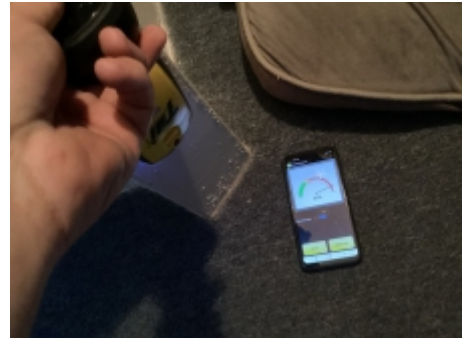
**Excessive Moisture Photos**



Showing examples of the high moisture readings



Showing examples of the high moisture readings



Showing examples of the high moisture readings



Showing examples of the AC



Showing examples of the AC



Showing examples of the hot water



Showing examples of the down pipes



Showing examples of the down pipes



Showing examples of the down pipes



Showing examples of the down pipes



Showing examples of the debris in the gutters



Showing examples of the debris in the gutters



Showing examples of the debris in the gutters



Showing examples of the taps



Showing examples of the taps



Showing examples of the moisture stains



Showing examples of the moisture stains



Showing examples of the moisture stains



Showing examples of the moisture stains in the roof



Showing examples of the moisture stains in the roof



Showing examples of the moisture stains in the roof



Showing examples of the moisture stains in the roof

|  |   |
|--|---|
| E11 Bridging or breaching of termite barriers and inspection zones | The following evidence was found  |
| Location   | Various areas   |
| Additional Comments  | Obstructed weep holes - recommend exposing 75mm under weep hole to allow for visual inspection zone |

**Bridging Photos**



Showing examples of the covered weep holes



Showing examples of the covered weep holes



Showing examples of the covered weep holes



Showing examples of the covered weep holes



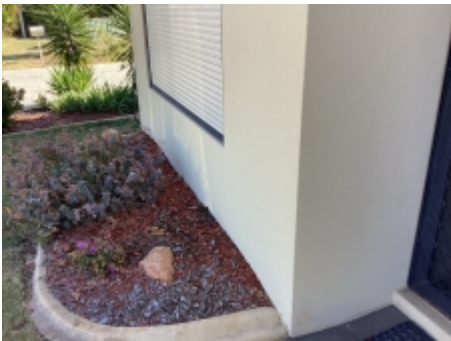
Showing examples of the covered weep holes



Showing examples of the covered weep holes

|   |  |
|---|--|
| E12 Untreated or non-durable timber used in a hazardous environment | No evidence was found  |
| E13 Other conditions conducive to timber pest attack                | The following evidence was found                                       |
| Location  | Front  |
| Additional Comments   | Garden beds and vegetation against external walls - recommend removing |

**Other Conducive Condition Photos**



Showing examples of the front

**MAJOR SAFETY HAZARDS**

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

|                          |                       |
|--------------------------|-----------------------|
| E14 Major safety hazards | No evidence was found |
|--------------------------|-----------------------|

**SECTION F CONCLUSION**

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

**PROPERTY REPORT**

|   |         |
|---|---------|
| The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: | Average |
|---|---------|

|   |                                     |
|---|-------------------------------------|
| The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:   | Outside the scope of the inspection |
| In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: | Average                             |

## TIMBER PEST REPORT

|  |                               |
|--|-------------------------------|
| Treatment of Timber Pest Attack is required.   | No                            |
| In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is | Recommended - see Item E2     |
| Removal of Conditions Conducive to Timber Pest Attack is necessary.  | Yes, as detailed in Section E |
| Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended  | 1 month                       |

## SECTION G IMPORTANT NOTES

### PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration.

Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.

### TIMBER PEST REPORT - RISK MANAGEMENT OPTIONS

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Recommend exposing a minimum of 75mm under weep holes

Recommend installing a chemical barrier immediately

Recommend contacting the termite management system installer to check if the installed system is still warranted. If it is not, recommend installing a chemical barrier immediately.

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

## SECTION H ADDITIONAL COMMENTS


|                                    |   |
|------------------------------------|---|
| Additional comments                | There are no additional comments  |
| Additional Inspections Recommended | Electrical, Plumbing, Appliances Inspection, Surveying, Geo Technical, Air Conditioning, Structural Engineering, Council Compliance, Asbestos (if your house was built after 2003, it is unlikely that it would have any asbestos containing materials), Fire Alarm/smoke Alarm technician, Property Condition Inspection |

## SECTION I ANNEXURES TO THIS REPORT

|                          |                                       |
|--------------------------|---------------------------------------|
| Annexures to this report | There are no annexures to this report |
|--------------------------|---------------------------------------|

## SECTION J CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

|                       |   |
|-----------------------|---|
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| Authorised Signatory: |  |
| Date of Issue:        | 24th Oct, 2023  |